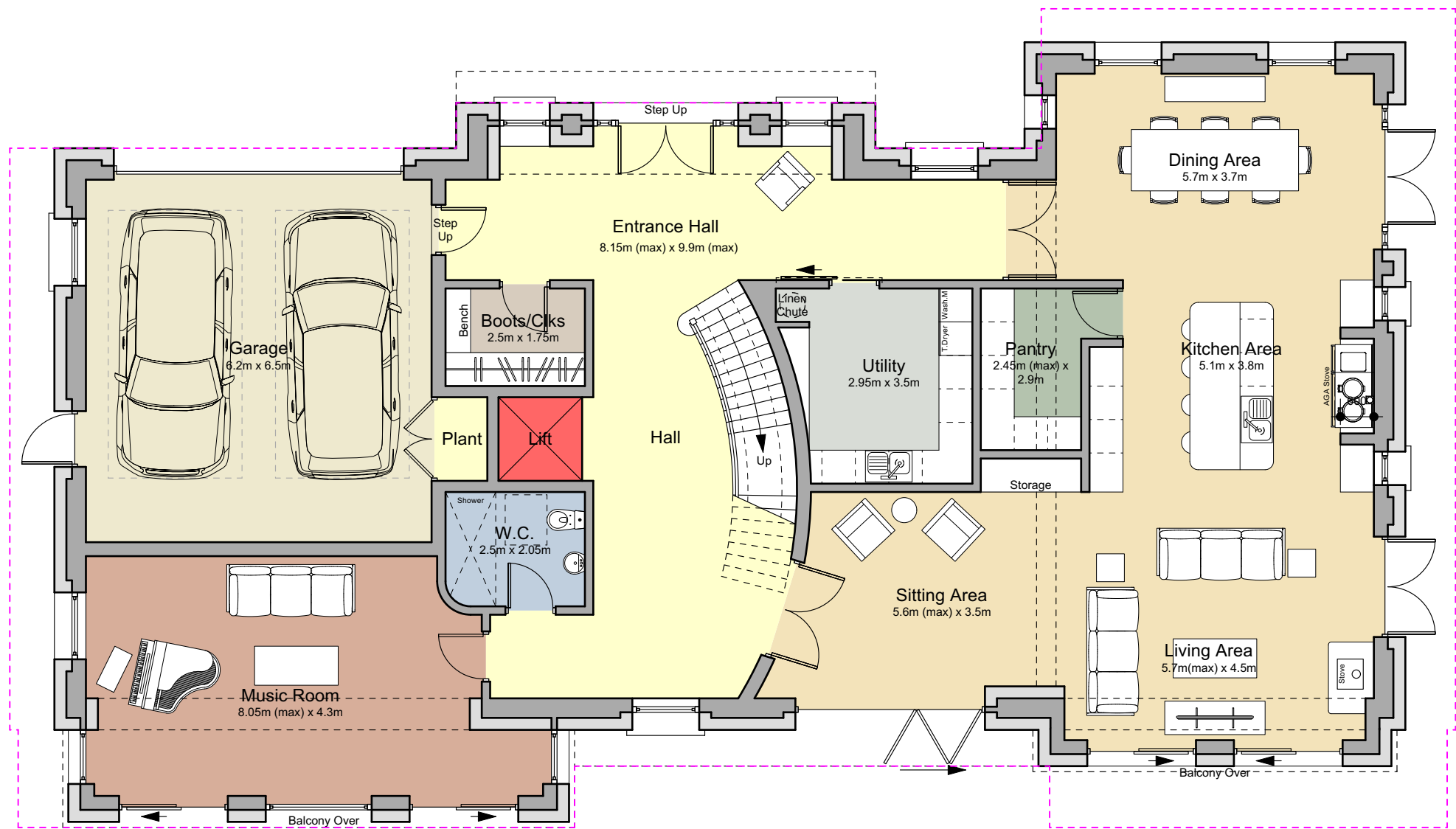


# Proposed Ground Floor Plan

## KEY

-  Footprint of original proposal
-  Kitchen/Living/Dining Area
-  Snug
-  Boot Room/Clks
-  W.C.
-  Utility
-  Pantry
-  Passenger Lift
-  Hall/Storage/Plant room
-  Garage



Proposed Ground Floor Plan  
Scale 1:100

Proposed Replacement

**DWELLING**  
**03d**

for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
**M23 Henderson**

RIBA 

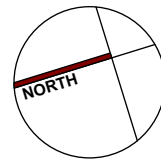


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
Architects  
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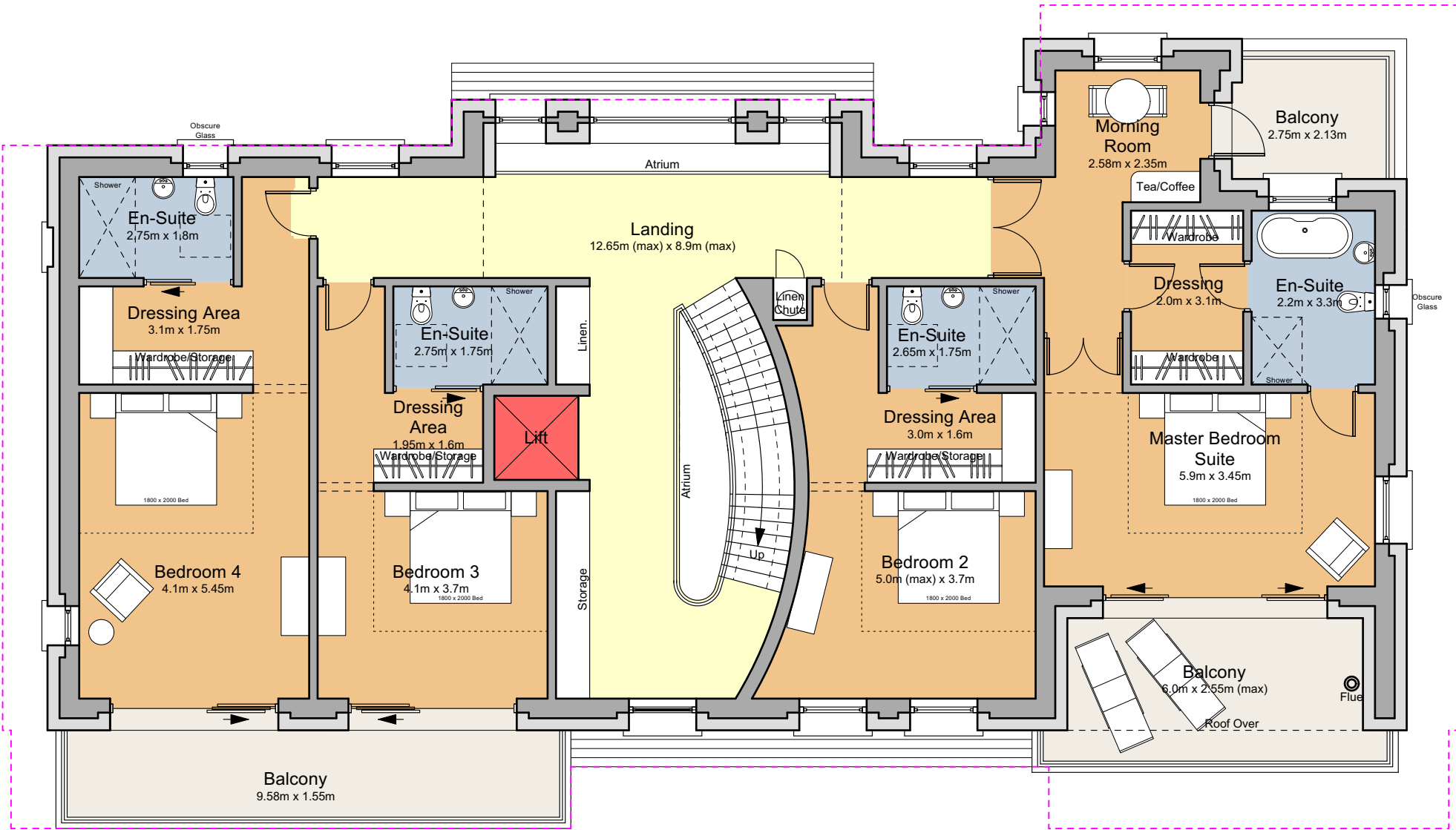


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# Proposed First Floor Plan

**KEY**

-  Footprint of original proposal
-  Balcony Areas
-  Bedroom Areas
-  En-Suites
-  Passenger Lift
-  Hall/Storage



Proposed First Floor Plan  
Scale 1:100

**Proposed Replacement**  
**DWELLING**  
**04d**  
for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
**M23 Henderson**

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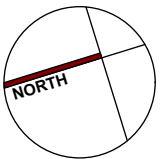


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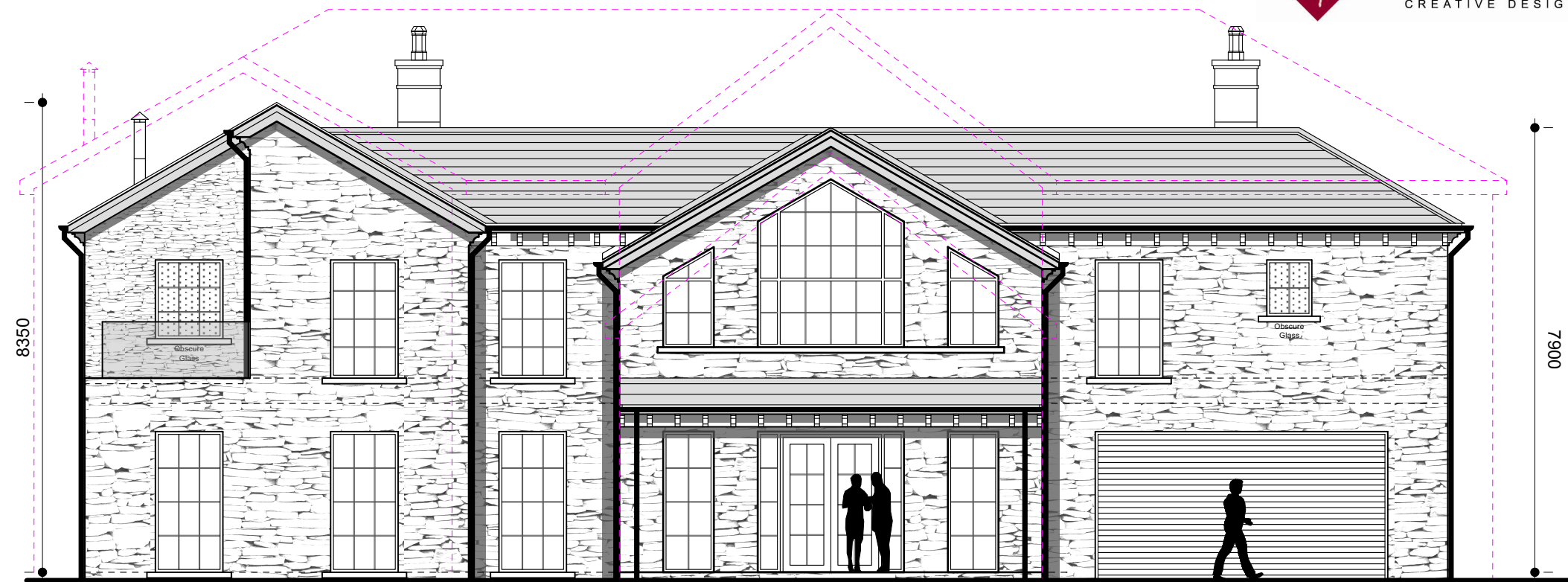
# Proposed Elevations

## KEY

--- Outline of Original Proposal



**bell**architects  
CREATIVE DESIGN : SUSTAINABLE APPROACH



Proposed East Elevation (Entrance)  
Scale 1:100



Proposed North Elevation (Garage)  
Scale 1:100

Schedule of Finishes:  
Roof: Natural/Flat Non profile slate/tiles;  
Walls: Natural Stone;  
Windows: HW timber/uPVC/Aluminium double glazed units;  
Doors: HW timber/GRP/uPVC/Aluminium double glazed doors;  
Rainwater Goods: Black uPVC/aluminium guttering.

**Proposed Replacement**  
**DWELLING**  
**06e**

for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
**M23 Henderson**

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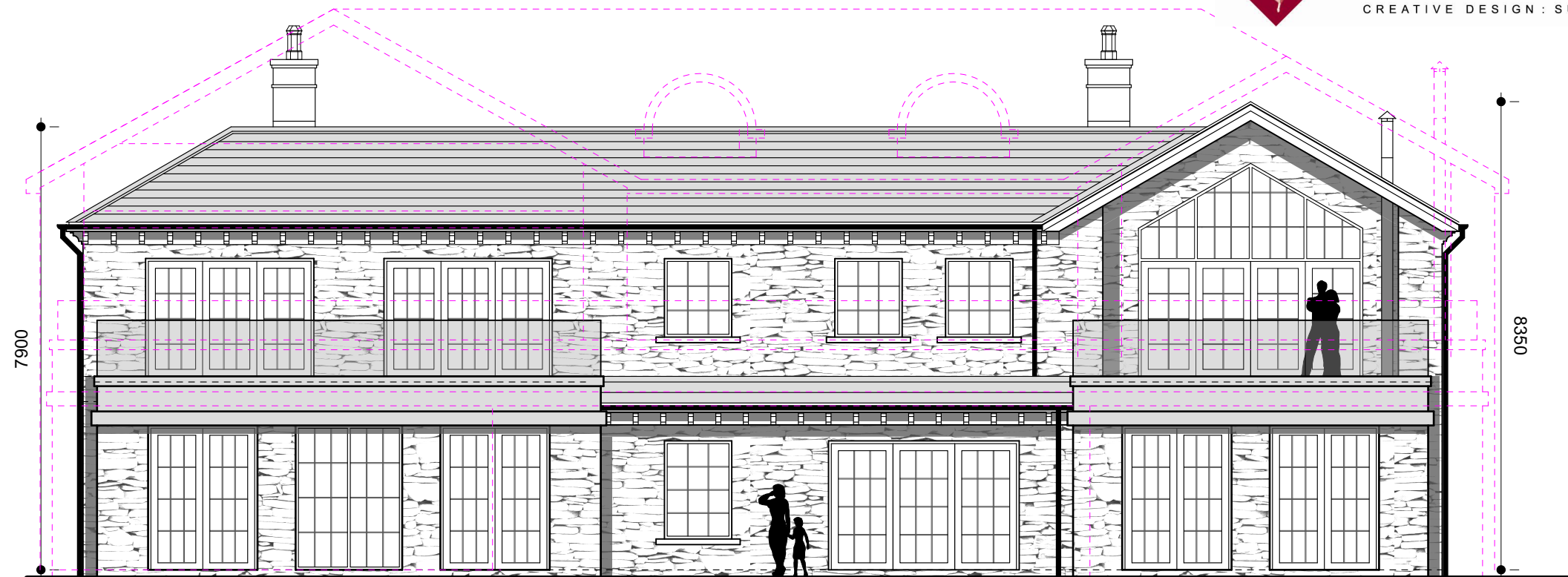
# Proposed Elevations

## KEY

--- Outline of Original Proposal



**bell**architects  
CREATIVE DESIGN : SUSTAINABLE APPROACH



Proposed West Elevation (Sea View)  
Scale 1:100



Proposed South Elevation (Living/Kitchen/Dining & Master Bedroom)  
Scale 1:100

Schedule of Finishes:  
Roof: Natural/Flat Non profile slate/tiles;  
Walls: Natural Stone;  
Windows: HW timber/uPVC/Aluminium double glazed units;  
Doors: HW timber/GRP/uPVC/Aluminium double glazed doors;  
Rainwater Goods: Black uPVC/aluminium guttering.

## Proposed Replacement

**DWELLING**  
**07e**

for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
**M23 Henderson**

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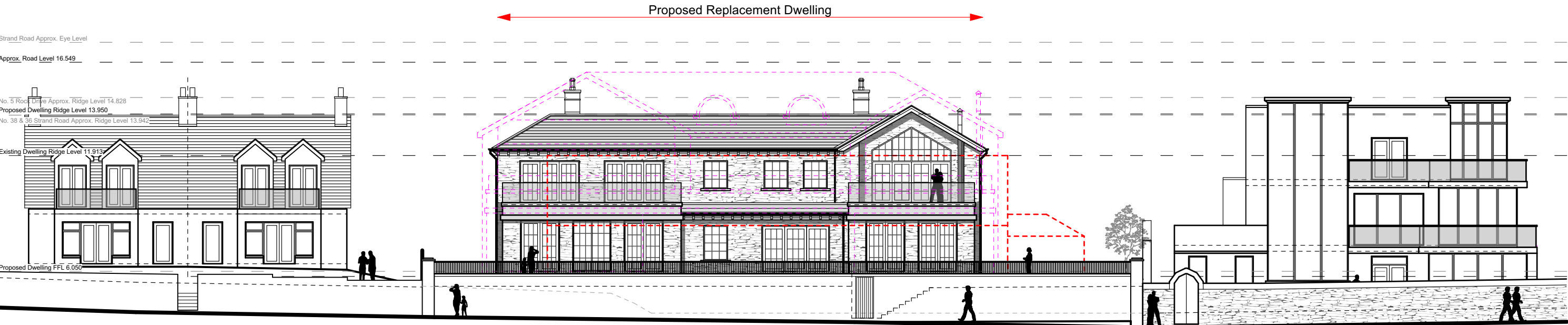
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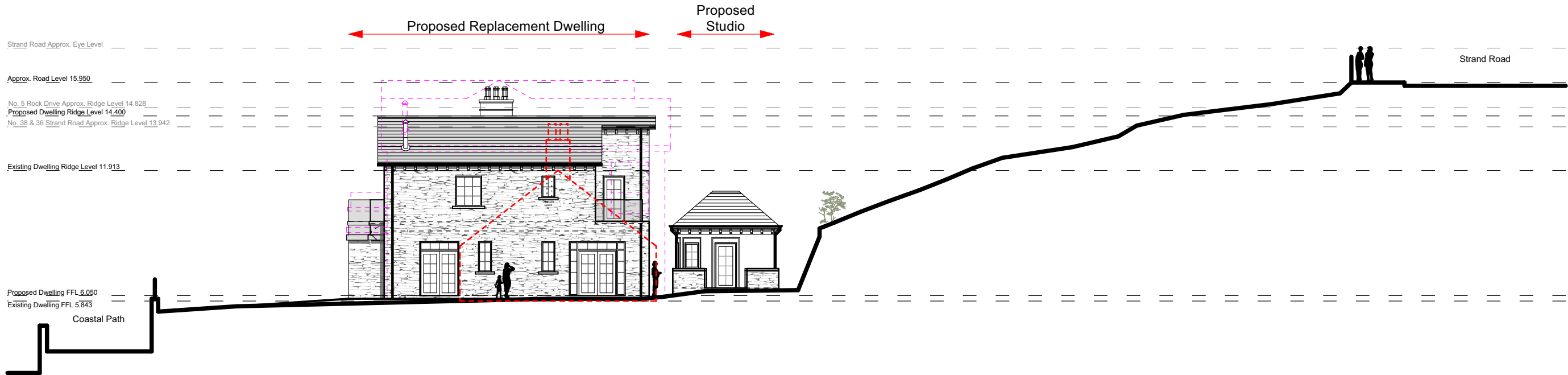
# Proposed Context Elevations

**KEY**

- Existing Dwelling to be demolished
- Outline of Original Proposal



Proposed West Context Elevation  
Scale 1:200



Proposed South Context Elevation  
Scale 1:200

**Proposed Replacement**  
**DWELLING**  
**10e**  
for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
**M23 Henderson**

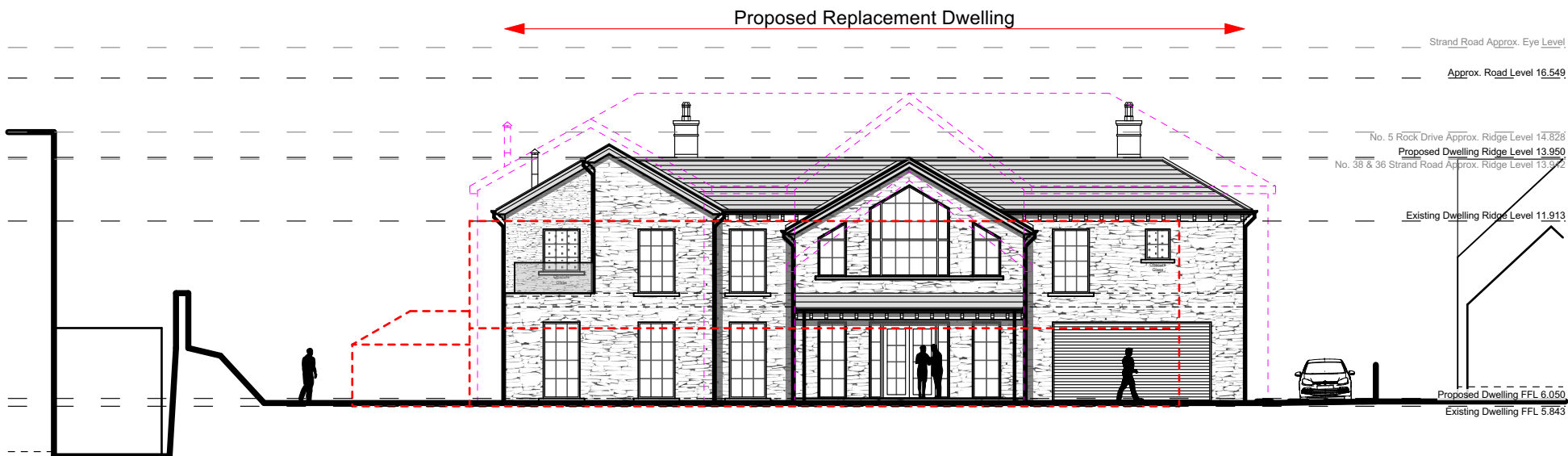


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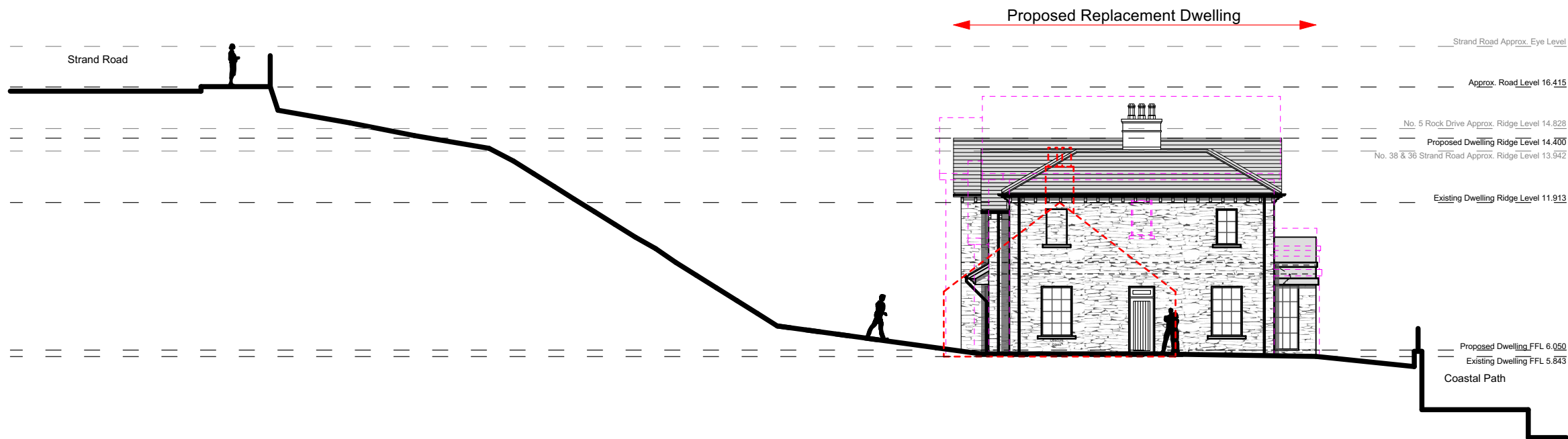
# Proposed Context Elevations

KEY

- Existing Dwelling to be demolished
- Outline of Original Proposal



Proposed East Context Elevation  
Scale 1:200



Proposed North Context Elevation  
Scale 1:200

**Proposed Replacement DWELLING 11e**  
for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
**M23 Henderson**



# Proposed Site Layout

Existing dwellings in context.

Existing coastal path/pedestrian walkway.  
(Below Private Amenity Gardens)

Existing Timber fence.

Retaining masonry wall & guarding  
to edge of boundary.

Existing dwelling to be demolished  
shown dotted red.

Patio to be laid in paviers.

Alter existing pedestrian garden  
gate/access.

Steps up to garden.

Existing wall to be altered.

Proposed replacement dwelling.

Escallonia hedge (1.2m high).

Patio space to be laid in paviers.

Artist Studio.

Existing steep bank/rock.

Existing masonry wall.

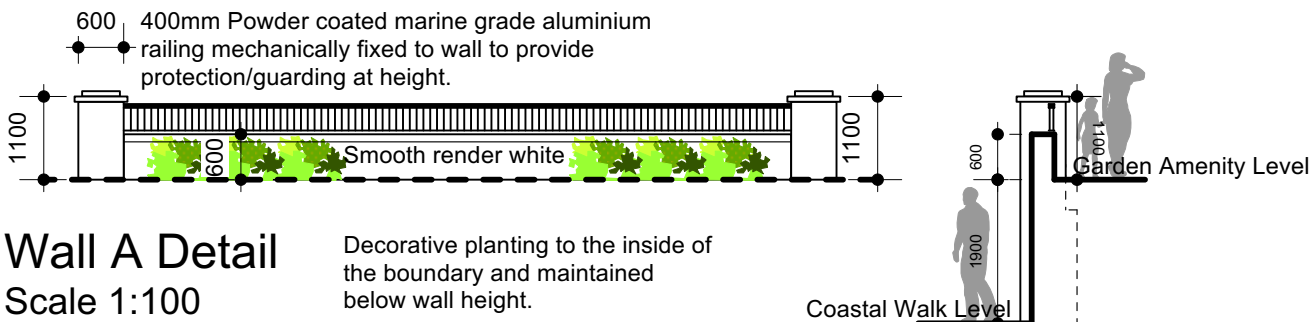
Escallonia hedge (allowed to mature to  
1.8m high) for privacy, shrubs/trees &  
timber fence to cliff edge.

Existing cliff edge.

Edge of carriageway.

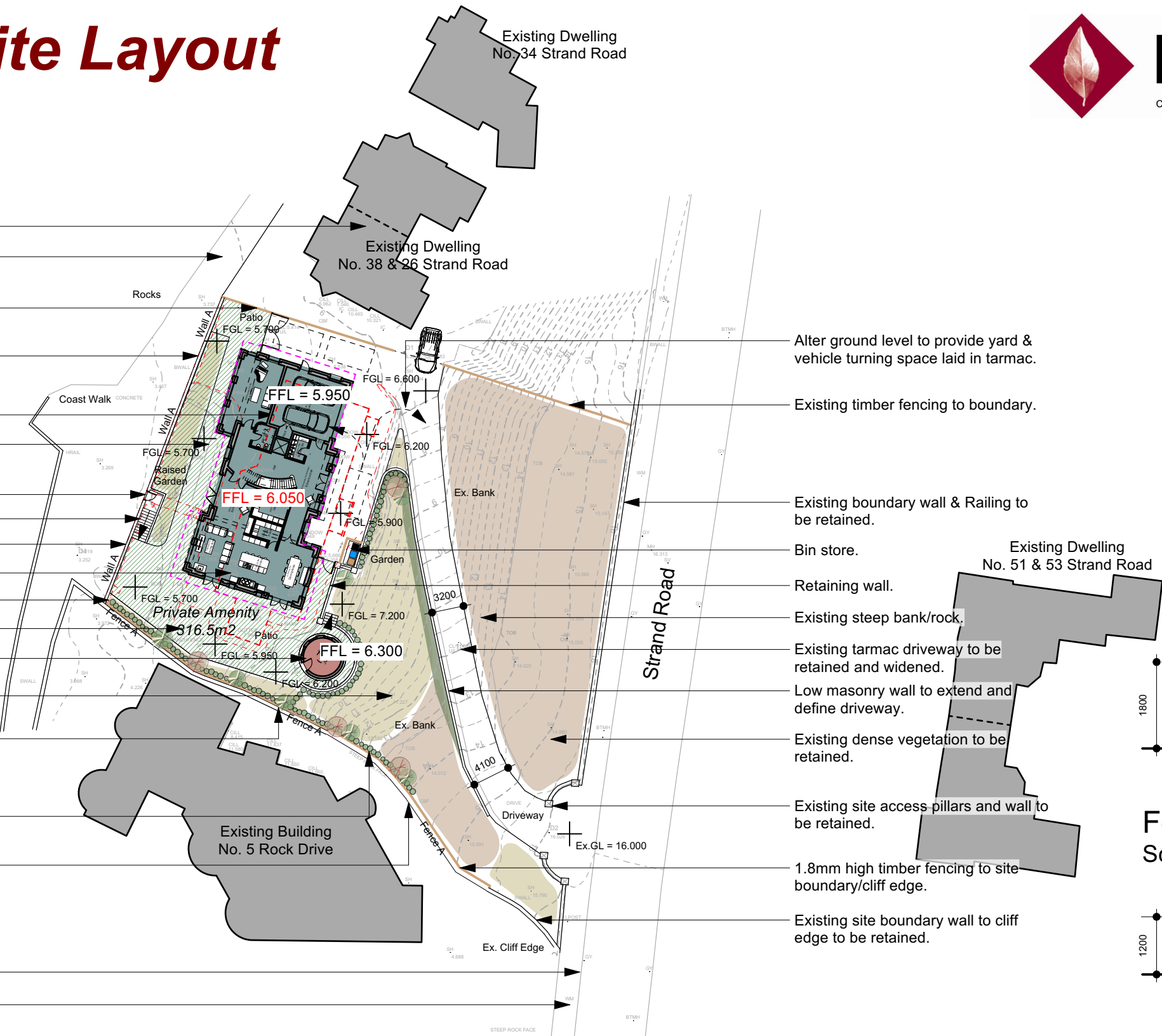
Existing footpath.

## Proposed Site Layout Scale 1:500



## Wall A Detail Scale 1:100

Decorative planting to the inside of  
the boundary and maintained  
below wall height.



### LANDSCAPING KEY

- Existing elements to be removed.
- Existing buildings in context.
- Proposed replacement dwelling.
- Proposed studio.
- Private Amenity Area.
- Grass/garden areas.
- Existing dense vegetation.
- Proposed hedge planting.  
(mixed species)
- Proposed trees/shrubs.
- Timber fencing.
- Footprint of original proposal.

Alter ground level to provide yard &  
vehicle turning space laid in tarmac.

Existing timber fencing to boundary.

Existing boundary wall & Railing to  
be retained.

Bin store.

Retaining wall.

Existing steep bank/rock.

Existing tarmac driveway to be  
retained and widened.

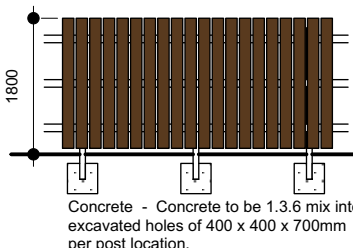
Low masonry wall to extend and  
define driveway.

Existing dense vegetation to be  
retained.

Existing site access pillars and wall to  
be retained.

1.8mm high timber fencing to site  
boundary/cliff edge.

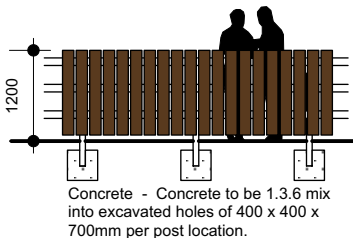
Existing site boundary wall to cliff  
edge to be retained.



## Fence A Detail Scale 1:100

Timber Railings - To  
be Manufactured from  
treated softwood.

All timbers to be  
stained dark brown or  
dark green to blend in  
with landscaping  
environment.



## Fence B Detail Scale 1:100

Timber Railings - To  
be manufactured from  
treated softwood.

All timbers to be  
stained dark brown or  
dark green to blend in  
with landscaping  
environment.

## Proposed Replacement DWELLING 12e

for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
M23 Henderson

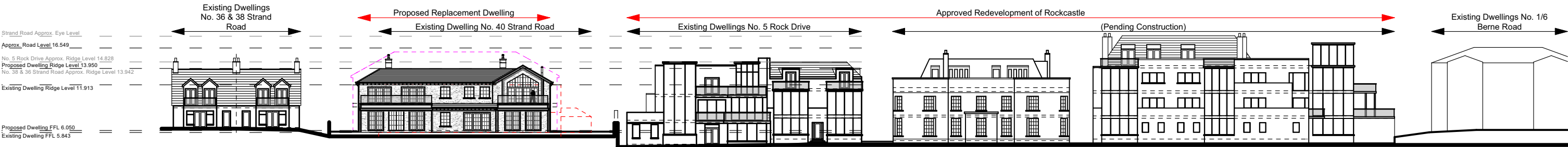




# Proposed Elevation - In Site Context

KEY

- Existing Dwelling to be demolished
- Outline of Original Proposal 08.06.2023



Proposed West Elevation in Context  
Scale 1:500



Proposed West Elevation in Context (Montage)  
Scale 1:500



Existing West Elevation Image  
Approx. Scale 1:500

**Proposed Replacement**  
**DWELLING**  
**13e**  
for Mr & Mrs Henderson  
at 40 Strand Road, Portstewart.  
**M23 Henderson**

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